

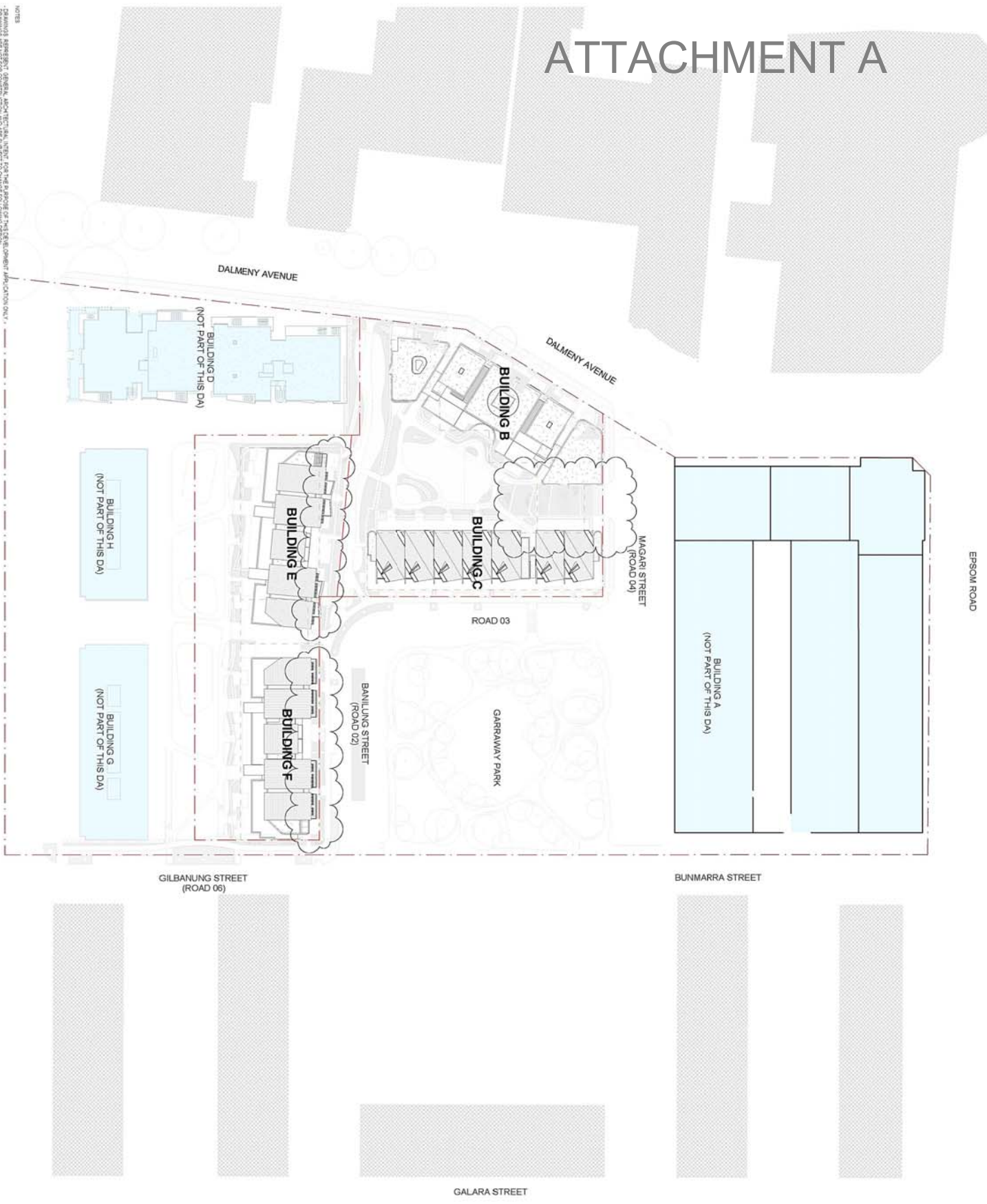
ATTACHMENT A

ATTACHMENT A

PROPOSED PLANS

**67-77 EPSOM ROAD AND
95 DALMENY AVENUE, ROSEBERY**

ATTACHMENT A



LEGEND

- Surrounding Buildings - Toplace Development
- Surrounding Buildings - Existing Context

AMENDMENT NOTES 26/06/2015 REV C
 REFER TO SPECIFIC FLOOR PLANS FOR
 DETAILS REGARDING BUILDING CHANGES

NOTES

1. DRAWINGS REQUESTED, ORIGINALLY ARCHITECTURAL, INTEND FOR THE PURPOSE OF THE PRELIMINARY APPLICATION ONLY.

2. DRAWINGS ARE NOT FOR CONSTRUCTION AND ARE SUBJECT TO CHANGE FOLLOWING DESIGN DEVELOPMENT.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

5. COPIES OF THE REPRODUCTION OF THIS DRAWING IS STRICTLY PROHIBITED WITHOUT THE CONSENT OF PTW ARCHITECTS.

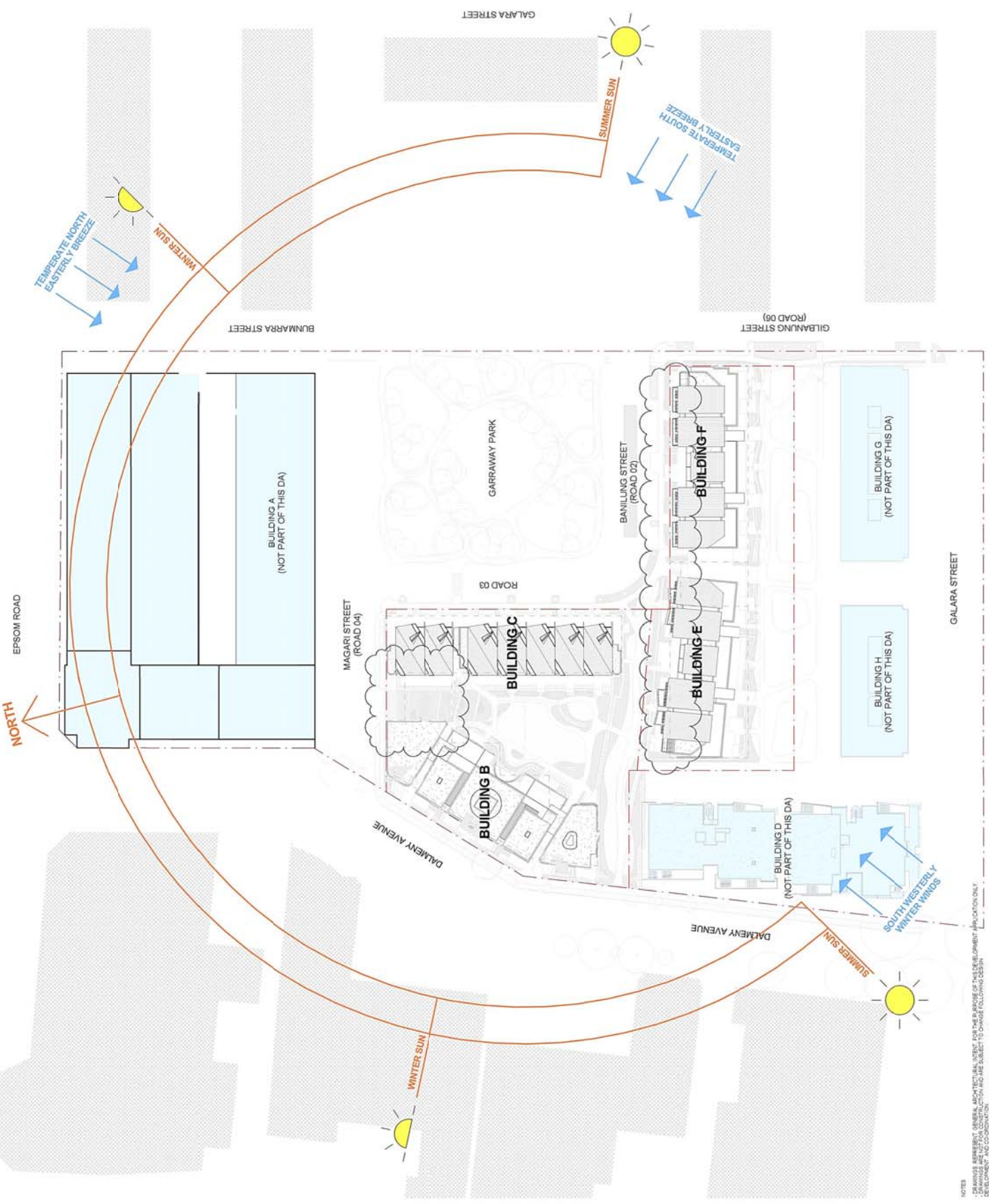
Project: Overland Gardens | Client: Topplace | Job No: 213070 | Date: DA-001 | Location & Site Plan | Revision: C | Scale: 1:500 | Date: 26/06/2015

PTW ARCHITECTS
 1/44-1/5, SCARBOROUGH ST
 SYDNEY NSW 2000 AUSTRALIA
 T +61 (0)2 9211 1313
 F +61 (0)2 9211 1314

ATTACHMENT A

- LEGEND**
- Surrounding Buildings - Toplace Development
 - Surrounding Buildings - Existing Context
 - Proposed lot subdivision by PTW pending comment and approval by all relevant parties
 - Masterplan Site Boundary (Set out in accordance to Watson Buchan - Survey - 07/04/39 - 13/07/2007)
 - Masterplan Building Envelope Constraints (Set out in accordance to Joshua Farquhar and Associates - Building Envelopes - DA-A07 - 27/05/2010)
 - Subdivision Boundary (Set out in accordance to H Ramsey & Co - Proposed Lot Subdivision - 805876 - 10/12/2013)

AMENDMENT NOTES 26/06/2016 REV C
 REFER TO SPECIFIC FLOOR PLANS FOR DETAILS REGARDING BUILDING CHANGES



NOTES

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Project: Overland Gardens
 Client: Toplace
 26/06/16
 Job No: 213070
 Draw No: DA-003
 Site Analysis Plan
 1 : 500
 Revision C

LEGEND

- Accessible
- L Loading Bay
- M Motorcycle
- R Resident
- S Car Share
- V Visitor

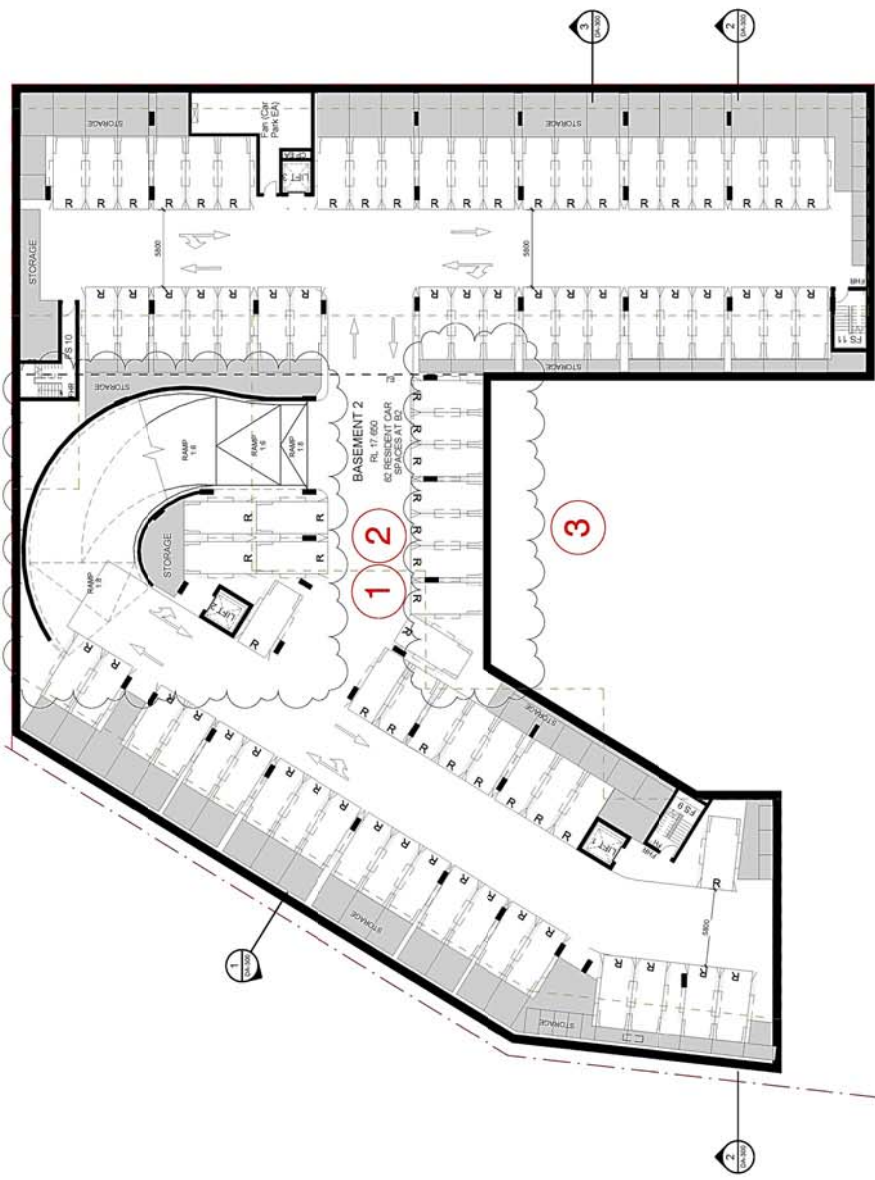
- Masterplan Site Boundary (Set out in accordance to Watson Buchanan - Survey - 07/04/38 - 13/07/2007)
- Subdivision Boundary (Set out in accordance to H Ramsay & Co. - Proposed Lot Subdivision - 8056/13 - 10/12/2013)
- Masterplan Building Envelope Constraints (Set out in accordance to Joshua Farkash and Associates - Building Envelopes - DA-A07 - 21/05/2010)
- Proposed lot subdivision by PTW pending comment and approval by all relevant parties

Table 1: Design & Regulatory Data

Code	Value	Unit	Source
Height	10.00	m	DA-A07
Area	1000.00	m ²	DA-A07
Volume	10000.00	m ³	DA-A07
Setback	1.00	m	DA-A07
Other

AMENDMENT NOTES

- BLD B+C - CARPARK ENTRY RAMP AND RAMP FROM B1-B2 MODIFIED TO ACCOMMODATE LOADING DOCK AT GROUND AND BASEMENT LEVELS.
- BLD B+C - BASEMENT LAYOUT AMENDED TO ADDRESS NEW RAMPS AND BASEMENT EXTENT.
- BLD B+C - CARPARK ENTRY RAMP REDUCED IN LENGTH MINIMIZING INTRUSION COMMUNITY OPEN SPACE AND IMPROVING AMENITY, LANDSCAPING AND PATHS ALSO AFFECTED.



NOTES

- DRAMAHS REPRESENT GENERAL ARCHITECTURAL INTENT FOR THE PURPOSE OF THIS DEVELOPMENT APPLICATION ONLY.
- DETAILED DESIGN AND CONSTRUCTION SHALL BE SUBJECT TO CHANGE FOLLOWING DESIGN DEVELOPMENT AND CONSTRUCTION.
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- LEGEND**
- Accessible
 - L Loading Bay
 - M Motorcycle
 - R Resident
 - S Car Share
 - V Visitor

Masterplan Site Boundary
 (Set out in accordance to Watson
 Buchanan - Survey - 07/04/38 - 13/07/2007)

Subdivision Boundary
 (Set out in accordance to H Ramsay & Co.
 Proposed Lot Subdivision - 8056/13 - 10/12/2013)

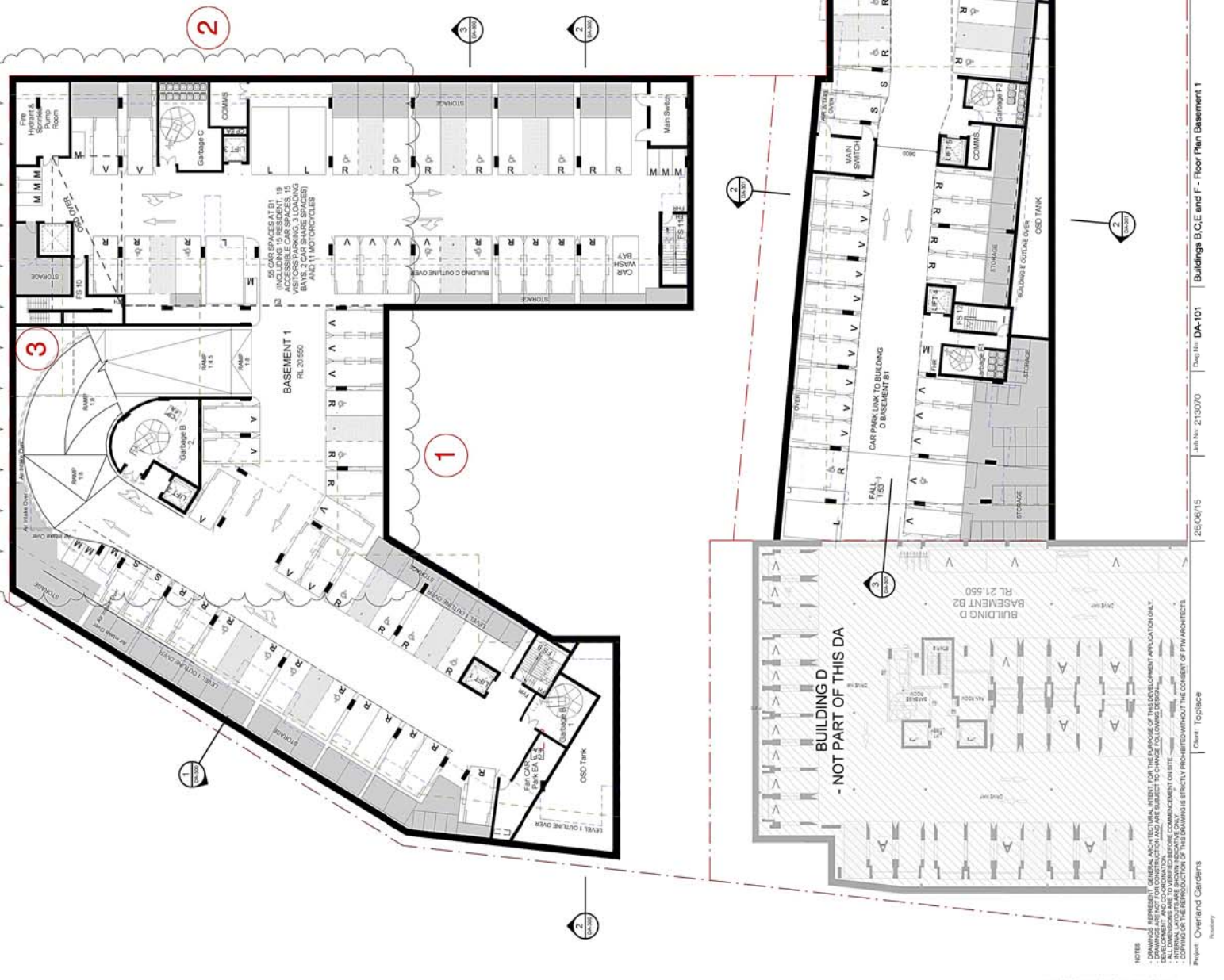
Masterplan Building Envelope Constraints
 (Set out in accordance to Joshua Farkash and
 Associates - Building Envelopes - DA-A07 - 21/05/2010)

Proposed lot subdivision by PTW pending
 comment and approval by all relevant parties

Table 1: Building Performance Specifications

Category	Item	Value	Source
General	Structure	Steel	AS/NZS 4600
	Roofing	Asph/Flt	AS/NZS 4600
	Cladding	Asph/Flt	AS/NZS 4600
	Windows	Asph/Flt	AS/NZS 4600
Mechanical	HVAC	Split System	AS/NZS 3823
	Electrical	AS/NZS 3000	AS/NZS 3000
	Plumbing	AS/NZS 3500	AS/NZS 3500
	Fire	AS/NZS 1562	AS/NZS 1562
Acoustic	Sound Power Level	AS/NZS 1710	AS/NZS 1710
	Sound Pressure Level	AS/NZS 1710	AS/NZS 1710
	Sound Power Level	AS/NZS 1710	AS/NZS 1710
	Sound Pressure Level	AS/NZS 1710	AS/NZS 1710

- AMENDMENT NOTES**
- BLD B+C - CARPARK ENTRY RAMP AND RAMP FROM B1-B2 MODIFIED TO ACCOMMODATE LOADING DOCK AT GROUND AND REDUCING BASEMENT EXTENT.
 - BLDS B+C - BASEMENT LAYOUT AMENDED TO ADDRESS NEW RAMPS AND BASEMENT EXTENT.
 - BLDS B+C - CARPARK ENTRY RAMP REDUCED IN LENGTH MINIMIZING INTRUSION COMMUNITY OPEN SPACE AND IMPROVING AMENITY, LANDSCAPING AND PATHS ALSO AFFECTED.



NOTES

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Project: Overland Gardens
 Clear: Toplice
 Date: 21/3/2020
 Scale: 1:200
 Building: B+C and F - Floor Plan Basement 1

ATTACHMENT A

LEGEND

[Light Yellow Box]	1Bed
[Light Orange Box]	2Bed
[Light Green Box]	3Bed
[Light Blue Box]	BALC
[Light Purple Box]	CORE
[Light Pink Box]	Studio

- Masterplan Site Boundary (Set out in accordance to Watson Buchanan - Survey - 07/04/08 - 13/07/2007)
- Subdivision Boundary (Set out in accordance to H Ramsay & Co. Proposed Lot Subdivision - 8050/13 - 10/12/2013)
- Masterplan Building Envelope Constraints (Set out in accordance to Joshua Farkash and Associates - Building Envelopes - DA-A07 - 21/05/2010)
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Design & Building Performance Specifications

Section	Item	Value
General	1.1.1.1	1.1.1.1
	1.1.1.2	1.1.1.2
	1.1.1.3	1.1.1.3
	1.1.1.4	1.1.1.4
	1.1.1.5	1.1.1.5
	1.1.1.6	1.1.1.6
	1.1.1.7	1.1.1.7
	1.1.1.8	1.1.1.8
	1.1.1.9	1.1.1.9
	1.1.1.10	1.1.1.10
Structural	2.1.1.1	2.1.1.1
	2.1.1.2	2.1.1.2
	2.1.1.3	2.1.1.3
	2.1.1.4	2.1.1.4
	2.1.1.5	2.1.1.5
	2.1.1.6	2.1.1.6
	2.1.1.7	2.1.1.7
	2.1.1.8	2.1.1.8
	2.1.1.9	2.1.1.9
	2.1.1.10	2.1.1.10
Services	3.1.1.1	3.1.1.1
	3.1.1.2	3.1.1.2
	3.1.1.3	3.1.1.3
	3.1.1.4	3.1.1.4
	3.1.1.5	3.1.1.5
	3.1.1.6	3.1.1.6
	3.1.1.7	3.1.1.7
	3.1.1.8	3.1.1.8
	3.1.1.9	3.1.1.9
	3.1.1.10	3.1.1.10

AMENDMENT NOTES

- BLDS B+C - CARPARK ENTRY RAMP REDUCED IN LENGTH MINIMIZING INTRUSION COMMUNITY OPEN SPACE AND IMPROVING AMENITY, LANDSCAPING AND PAHS ALSO AFFECTED.
- BLD F - SLIDING SUNSCREENS ADDED TO NORTH FACING BALCONIES TO IMPROVE AMENITY.
- BLD E - HIGH LEVEL SUNSCREENS ADDED TO BALCONIES TO IMPROVE AMENITY.
- BLD B - BEDROOM WALL AMENDED TO FOLLOW UPPER LEVELS AND IMPROVE APARTMENT.
- BLD C - LEVEL 2 RE-PLANNED DUE TO LOADING DOCK, APTS 201, 202, 203, 204 CREATED ON LEVEL 2.
- BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.
- BLD B+C - LANDSCAPE ROOF TO LOADING DOCK AND BASEMENT RAMP ENTRY RE-PLANNED.
- BLD C - FFL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



NOTES

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ATTACHMENT A

- LEGEND**
- 1Bed
 - 2Bed
 - 3Bed
 - BALC
 - CORE

Masterplan Site Boundary
 (Set out in accordance to Watson
 Buchanan - Survey - 07/04/38 - 13/07/2007)

Subdivision Boundary
 (Set out in accordance to H Ramsay & Co.
 Proposed Lot Subdivision - 8050/13 - 10/12/2013)

Masterplan Building Envelope Constraints
 (Set out in accordance to Joshua Farkash and
 Associates - Building Envelopes - DA-A07 - 21/05/2010)

Proposed lot subdivision by PTW pending
 comment and approval by all relevant parties

Table 1: Project Information

Project Name	10/10/10/10
Client	PTW
Architect	PTW Architects
Engineer	PTW
Surveyor	PTW
Valuer	PTW
Contractor	PTW
Other	PTW

Table 2: Performance Specifications

Item	Specification
1	...
2	...
3	...
4	...
5	...
6	...
7	...
8	...
9	...
10	...
11	...
12	...
13	...

AMENDMENT NOTES

7. BLD F - SLIDING SUNSCREENS ADDED TO NORTH FACING BALCONIES TO IMPROVE AMENITY.
8. BLD E - HIGH LEVEL SUNSCREENS ADDED TO BALCONIES TO IMPROVE AMENITY.
11. BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.
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13. BLD C - FFL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



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Project: Overland Carrierts
 Floor: Top/pace
 Date: 21/03/2017
 Drawing: DA-104 - Buildings B,C,E and F - Floor Plan Level 3
 Scale: 1:200
 Drawing No: 21/03/2017

ATTACHMENT A

LEGEND

- 1Bd
- 2Bd
- 3Bd
- BALC
- CORE

Masterplan Site Boundary
(Set out in accordance to Watson
Buchan - Survey - 07/04/08 - 13/07/2007)

Subdivision Boundary
(Set out in accordance to H Ramsay & Co -
Proposed Lot Subdivision - 8050/13 - 10/12/2013)

Masterplan Building Envelope Constraints
(Set out in accordance to Joshua Farkash and
Associates - Building Envelopes - DA-A07 - 21/05/2010)

Proposed lot subdivision by PTW pending
comment and approval by all relevant parties

Project Name	Issue	Date
Project 8: Sydney Park Building B3/F	Performance Specifications	2014.11.13
<p>Notes: This document is a performance specification for the proposed development. It is intended to provide a clear and concise summary of the requirements for the development. It is not intended to be a contract and should not be used as such. It is intended to be used as a guide for the development and should be read in conjunction with the relevant legislation and standards.</p>		
1.1	General	1.1.1
1.2	General	1.2.1
1.3	General	1.3.1
1.4	General	1.4.1
1.5	General	1.5.1
1.6	General	1.6.1
1.7	General	1.7.1
1.8	General	1.8.1
1.9	General	1.9.1
1.10	General	1.10.1
1.11	General	1.11.1
1.12	General	1.12.1
1.13	General	1.13.1
1.14	General	1.14.1
1.15	General	1.15.1
1.16	General	1.16.1
1.17	General	1.17.1
1.18	General	1.18.1
1.19	General	1.19.1
1.20	General	1.20.1
1.21	General	1.21.1
1.22	General	1.22.1
1.23	General	1.23.1
1.24	General	1.24.1
1.25	General	1.25.1
1.26	General	1.26.1
1.27	General	1.27.1
1.28	General	1.28.1
1.29	General	1.29.1
1.30	General	1.30.1
1.31	General	1.31.1
1.32	General	1.32.1
1.33	General	1.33.1
1.34	General	1.34.1
1.35	General	1.35.1
1.36	General	1.36.1
1.37	General	1.37.1
1.38	General	1.38.1
1.39	General	1.39.1
1.40	General	1.40.1
1.41	General	1.41.1
1.42	General	1.42.1
1.43	General	1.43.1
1.44	General	1.44.1
1.45	General	1.45.1
1.46	General	1.46.1
1.47	General	1.47.1
1.48	General	1.48.1
1.49	General	1.49.1
1.50	General	1.50.1
1.51	General	1.51.1
1.52	General	1.52.1
1.53	General	1.53.1
1.54	General	1.54.1
1.55	General	1.55.1
1.56	General	1.56.1
1.57	General	1.57.1
1.58	General	1.58.1
1.59	General	1.59.1
1.60	General	1.60.1
1.61	General	1.61.1
1.62	General	1.62.1
1.63	General	1.63.1
1.64	General	1.64.1
1.65	General	1.65.1
1.66	General	1.66.1
1.67	General	1.67.1
1.68	General	1.68.1
1.69	General	1.69.1
1.70	General	1.70.1
1.71	General	1.71.1
1.72	General	1.72.1
1.73	General	1.73.1
1.74	General	1.74.1
1.75	General	1.75.1
1.76	General	1.76.1
1.77	General	1.77.1
1.78	General	1.78.1
1.79	General	1.79.1
1.80	General	1.80.1
1.81	General	1.81.1
1.82	General	1.82.1
1.83	General	1.83.1
1.84	General	1.84.1
1.85	General	1.85.1
1.86	General	1.86.1
1.87	General	1.87.1
1.88	General	1.88.1
1.89	General	1.89.1
1.90	General	1.90.1
1.91	General	1.91.1
1.92	General	1.92.1
1.93	General	1.93.1
1.94	General	1.94.1
1.95	General	1.95.1
1.96	General	1.96.1
1.97	General	1.97.1
1.98	General	1.98.1
1.99	General	1.99.1
1.100	General	1.100.1

AMENDMENT NOTES

- 7. BLD F - SLIDING SUNSCREENS ADDED TO NORTH FACING BALCONIES TO IMPROVE AMENITY.
- 8. BLD E - HIGH LEVEL SUNSCREENS ADDED TO BALCONIES TO IMPROVE AMENITY.
- 11. BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.
- 12. BLD B+C - LANDSCAPE ROOF TO LOADING DOCK AND BASEMENT RAMP ENTRY RE-PLANNED.
- 13. BLD C - FFL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



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Project: Overland Gardens
Client: Topplace
Date: 26/06/15
Job No: 21/3070
Drawing: DA-105
Buildings B,C,E and F - Floor Plan Level 4
Scale: 1:200
PTW Architects
Level 15, 300 George St
Sydney NSW 2000
P: +61 2 9231 1111
F: +61 2 9231 1112

ATTACHMENT A

LEGEND

- 1Bed
- 2Bed
- 3Bed
- BALC
- CORE

Masterplan Site Boundary (Set out in accordance to Watson Buchanan - Survey - 07/04/98 - 13/07/2007)

Subdivision Boundary (Set out in accordance to H Ramsay & Co. - Proposed Lot Subdivision - 8/05/13 - 10/12/2013)

Masterplan Building Envelope Constraints (Set out in accordance to Joshua Farkash and Associates - Building Envelopes - DA-A07 - 21/05/2010)

Proposed lot subdivision by PTW pending comment and approval by all relevant parties

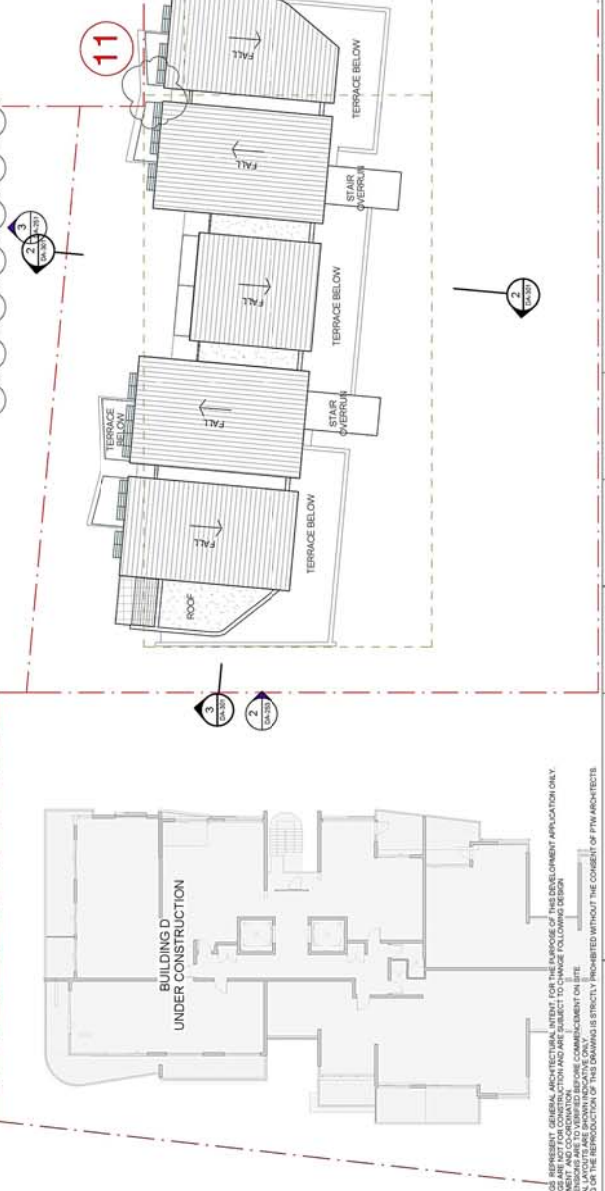
Table 1: Building Performance Specifications

Table with 4 columns: Element, Specification, Value, and Unit. Rows include: Structure, External Walls, Windows, Roof, Floor Slabs, and Services.

AMENDMENT NOTES

11. BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.

13. BLD C - FFL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



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Project: Overland Gardens
Client: Topbase
Date: 26/06/15
Job No: 21/3070
Draw No: DA-109
Buildings B,C,E and F - Floor Plan Level 8

ATTACHMENT A

LEGEND

- 1bed
- 2bed
- 3bed
- BALC
- CORE

- Masterplan Site Boundary
(Set out in accordance to Watson Buchanan - Survey - 07/04/38 - 13/07/2007)
- Subdivision Boundary
(Set out in accordance to H Ramsay & Co. - Proposed Lot Subdivision - 8050/13 - 10/12/2013)
- Masterplan Building Envelope Constraints
(Set out in accordance to Joshua Farkash and Associates - Building Envelopes - DA-A07 - 21/05/2010)
- Proposed lot subdivision by PTW pending comment and approval by all relevant parties

Table 1: Building Performance Specifications

Table 2: Energy Performance Specifications

Table 3: Water Performance Specifications

Table 4: Thermal Performance Specifications

Table 5: Acoustic Performance Specifications

Table 6: Other Performance Specifications

AMENDMENT NOTES

- 11. BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.
- 13. BLD C - FL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



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Project: Overland Gardens
Client: Topplace
Floor: Topplace
Date: 21/07/2017
Drawing: DA-110 Buildings B,C,E and F - Floor Plan Level 9
Scale: 1:200
Sheet: 13 of 13

ATTACHMENT A

LEGEND

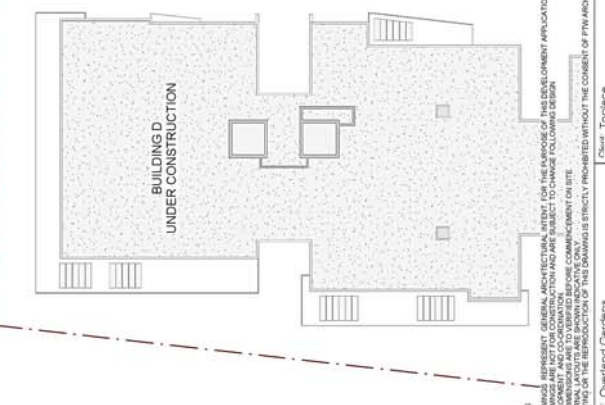
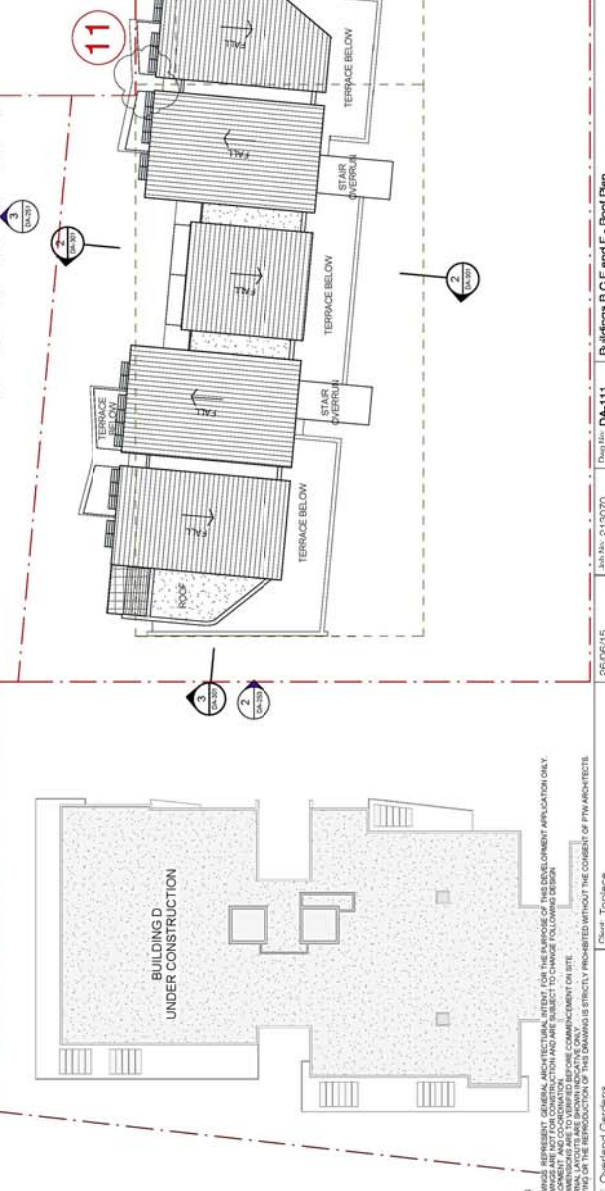
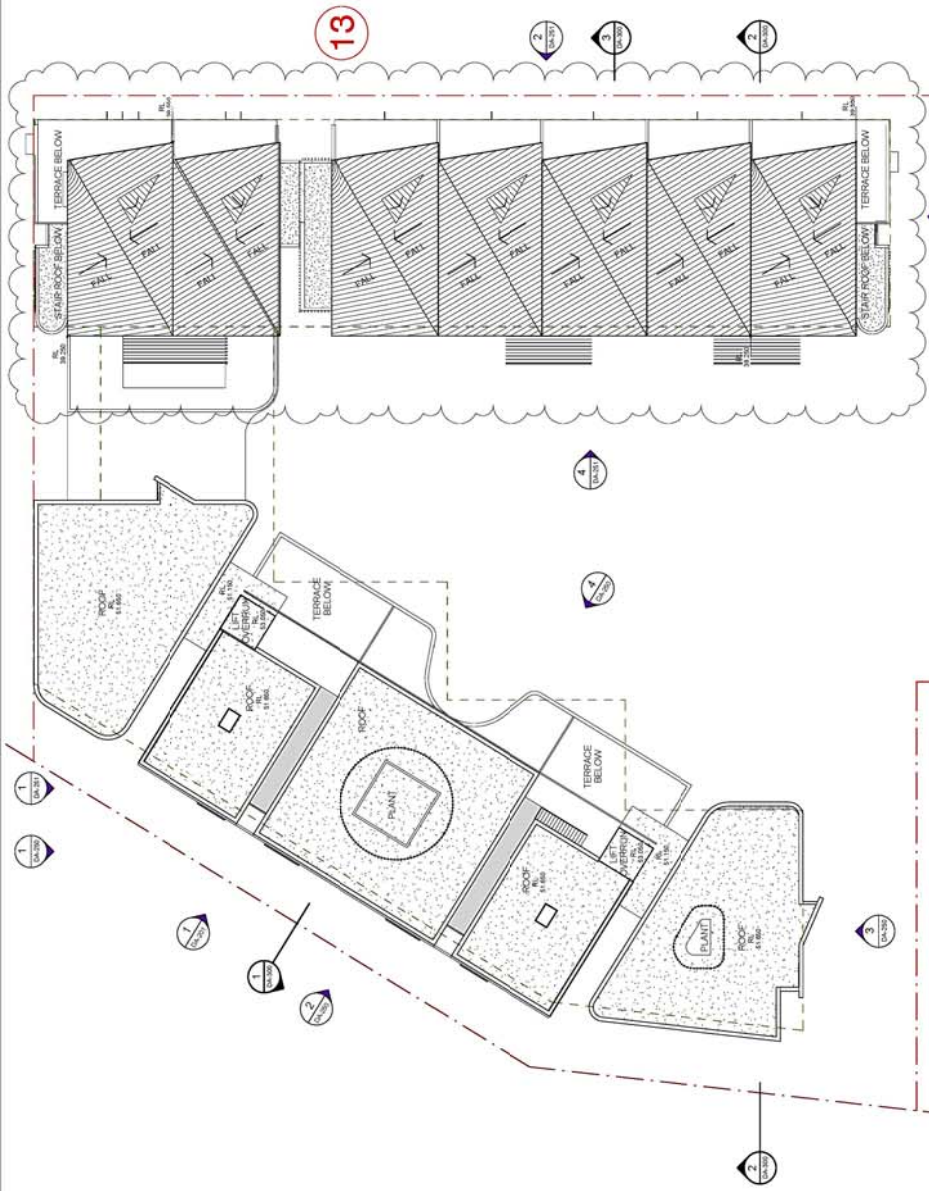
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(Set out in accordance to Watson Buchanan - Survey - 07/04/38 - 13/07/2007)
- Subdivision Boundary
(Set out in accordance to H Ramsay & Co. - Proposed Lot Subdivision - 8056/13 - 10/12/2013)
- Masterplan Building Envelope Constraints
(Set out in accordance to Joshua Farquhar and Associates - Building Envelopes - DA-A07 - 21/05/2010)
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Table 1: Building Performance Specifications

Element	Specification
Structure	Reinforced Concrete
Roof	Asph/Flt
Walls	200mm Brick
Floors	100mm Concrete
Windows	Double Glazed
Doors	Timber
Stairs	Concrete
Lifts	Concrete
Plant	Concrete
Roof	Asph/Flt
Walls	200mm Brick
Floors	100mm Concrete
Windows	Double Glazed
Doors	Timber
Stairs	Concrete
Lifts	Concrete
Plant	Concrete
Roof	Asph/Flt
Walls	200mm Brick
Floors	100mm Concrete
Windows	Double Glazed
Doors	Timber
Stairs	Concrete
Lifts	Concrete
Plant	Concrete

AMENDMENT NOTES

11. BLD E - BALCONIES PUSHED BACK AND APARTMENTS RE-PLANNED TO CLEAR SITE BOUNDARY.
 13. BLD C - FL AND BUILDING HEIGHT ADJUSTED TO ACCOMMODATE CLEARANCE FOR LOADING DOCK.



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Project: Overland Gardens
 Floor: Top/face
 Date: 26/06/15
 Job No: 21/3070
 Draw No: DA-111
 Buildings B,C,E and F - Floor Plan
 Scale: 1:200
 Date: 05/06/15
 PTW Architects
 Level 13, 300 George St
 Sydney NSW 2000 Australia
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 Fax: +61 (0)2 9230 4001

ATTACHMENT A

Level 3 Pattern of Fins to Facade
 ——— Metal Copper Fins
 Frosted Glass Fins

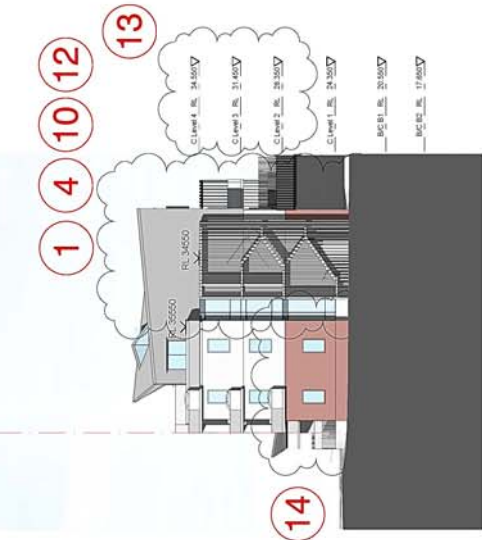


2 - Building C - East Elevation

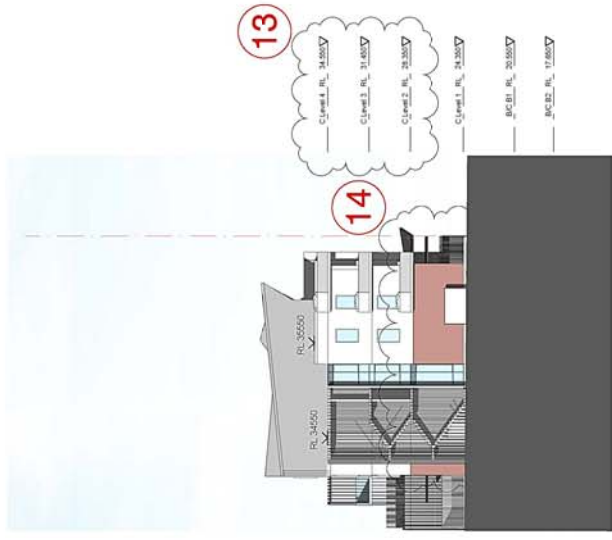
AMENDMENT NOTES 25/06/2015 REV C
 SEE LEGEND ON PLANS DESCRIBING CHANGES



4 - Building C - West Elevation



1 - Building C - North Elevation

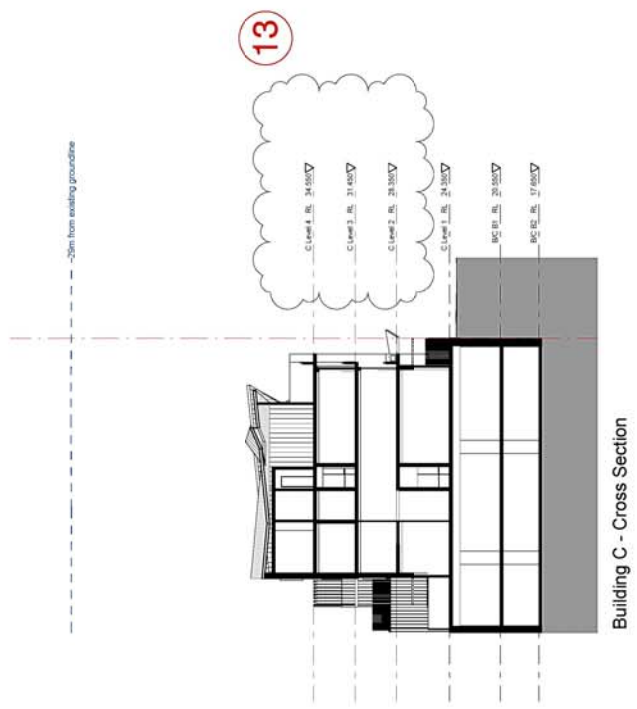


3 - Building C - South Elevation

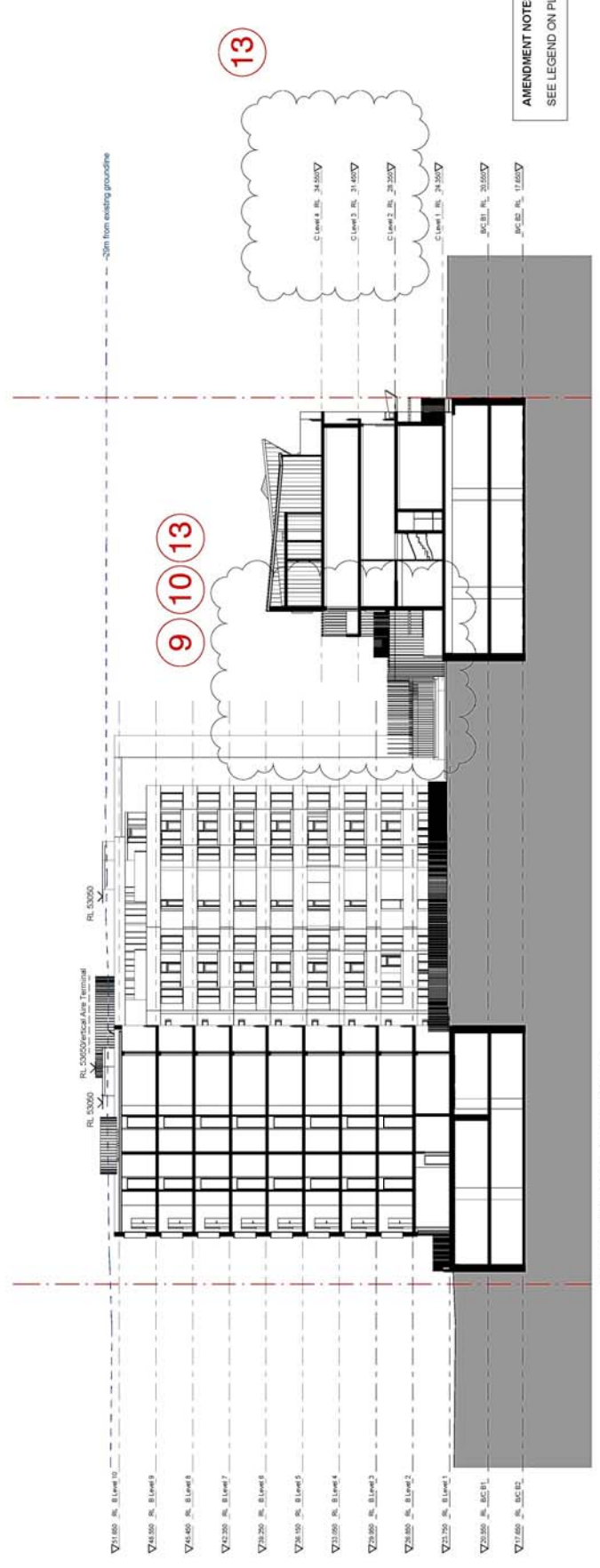
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 Project: Overland Gardens
 Client: Toplace

AMENDMENT NOTES 2606/2015 REV C
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Building C - Cross Section



Building B and C - Cross Section

ATTACHMENT A



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Project: Overland Gardens
Russey

Client: Toplace

11/18/14

Job No: 213070

Dwg No: DA-500

Revision A

@ A1

10/20/14 10:31:19

We warrant that the information contained herein is true and correct to the best of our knowledge and belief.

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ATTACHMENT A



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Project: Overland Gardens
Rushey

Client: Toplace

11/18/14

Job No: 213070

Dwg No: DA-501

DA Coloured Perspective

Revision A

@ A1

10/20/14 10:28 AM

We hereby declare
that this drawing is
our original work
and is not a copy
of any other work.

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ATTACHMENT A

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2025041201-001-01
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 Revision A 1 : 50

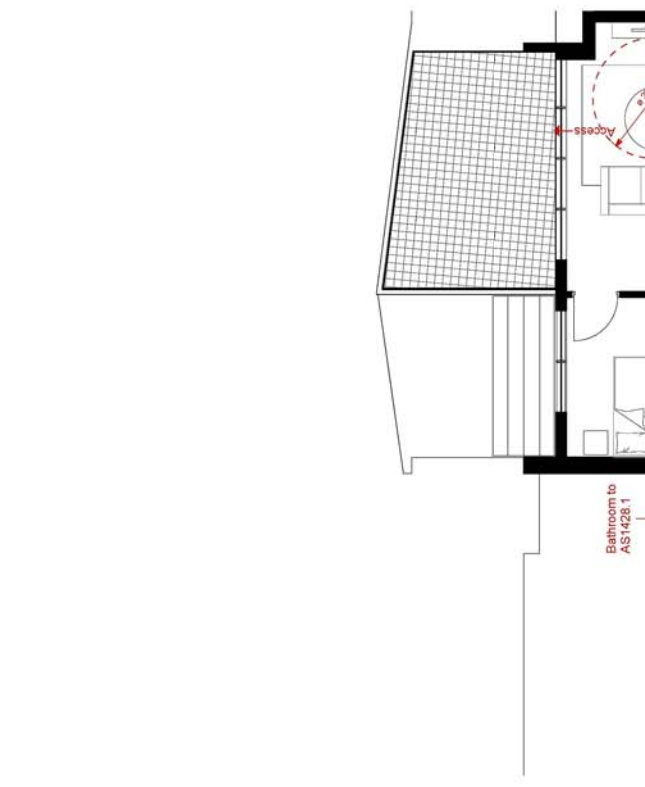
DA Adaptable Apartment Layouts

Job No: 213070
 Draw No: DA-901

11/17/14
 Client: Toplace

Project: Overland Gardens
 Residential

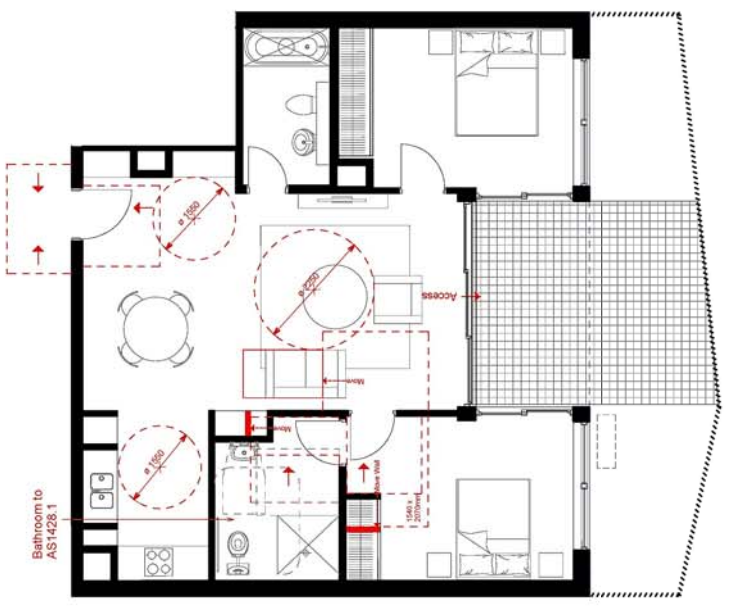
Adaptable Apartment Layout - Type EF-2



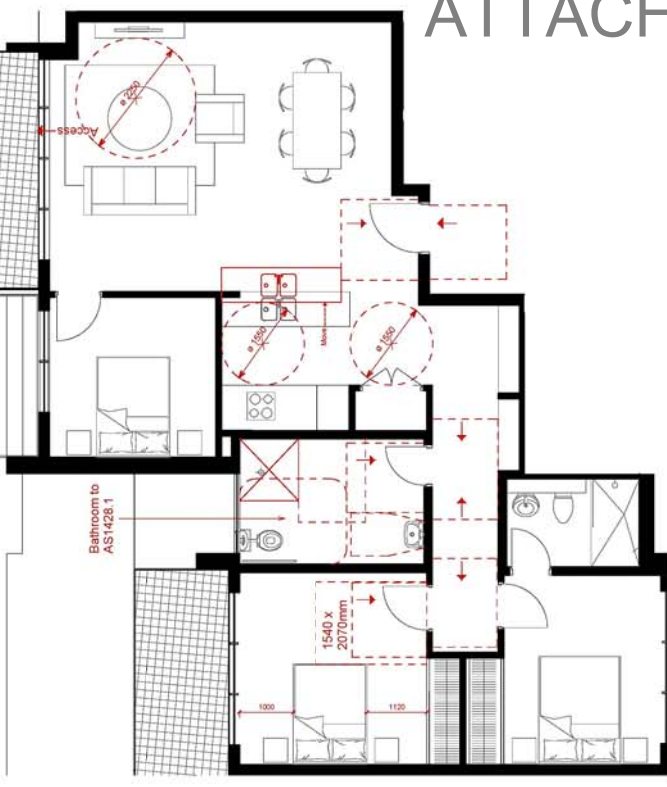
Adaptable Apartment Layout - Type EF-1



Adaptable Apartment Layout - Type EF-3



Adaptable Apartment Layout - Type EF-2



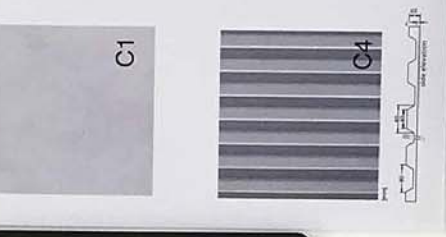
Adaptable Apartment Layout - Type EF-4

ATTACHMENT A

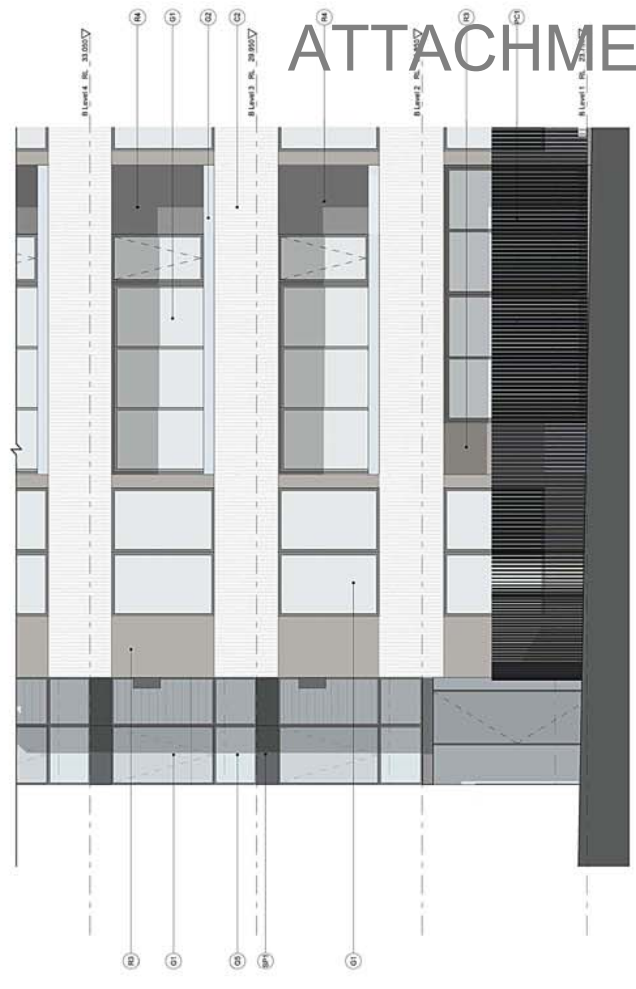
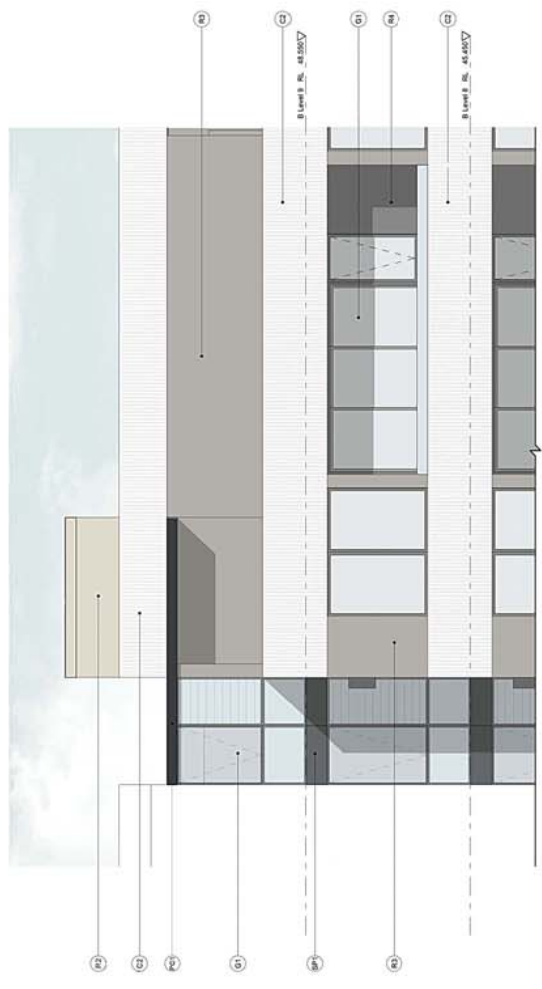


EXTERNAL FINISHES

- R1 - FACE BRICK
- C1 - CONCRETE - WHITE/RED
- C2 - CONCRETE - WHITE/RED PATTERNS 1
- C3 - CONCRETE - GREY
- C4 - CONCRETE - GREY PATTERNS 2
- C5 - CONCRETE - GREY PATTERNS 3
- CM1 - COMPOSITE METAL CLADDING - MEDIUM GREY
- PC1 - COMPOSITE METAL CLADDING - MEDIUM GREY
- SP1 - CLEAR ANTI-GLARE GLAZING
- G1 - TINTED GLAZED FINISH
- G2 - CLEAR ANTI-GLARE GLAZING
- G3 - CLEAR ANTI-GLARE GLAZING
- G4 - CLEAR ANTI-GLARE GLAZING
- G5 - CLEAR ANTI-GLARE GLAZING
- M1 - STANDING SEAM WALL AND METAL ROOF CLADDING - GREY
- S1 - POWDER COATED ALUMINUM - DARK GREY
- S2 - ANODIZED ALUMINUM - DARK GREY
- S3 - ANODIZED ALUMINUM - MEDIUM GREY
- S4 - ANODIZED ALUMINUM - MEDIUM GREY
- R1 - ANODIZED ALUMINUM - MEDIUM GREY
- R2 - ANODIZED ALUMINUM - MEDIUM GREY
- R3 - ANODIZED ALUMINUM - MEDIUM GREY
- R4 - ANODIZED ALUMINUM - MEDIUM GREY
- BD - 200 COPPER PENETRANT FINISH (ON ALUMINUM)
- SP1 - 200 COPPER PENETRANT FINISH (ON ALUMINUM)
- S1 - RED ANTI-CORROSION (ON ALUMINUM)
- S2 - RED ANTI-CORROSION (ON ALUMINUM)
- S3 - RED ANTI-CORROSION (ON ALUMINUM)
- S4 - RED ANTI-CORROSION (ON ALUMINUM)
- R1 - RED ANTI-CORROSION (ON ALUMINUM)
- R2 - RED ANTI-CORROSION (ON ALUMINUM)
- R3 - RED ANTI-CORROSION (ON ALUMINUM)
- R4 - RED ANTI-CORROSION (ON ALUMINUM)
- BD - ANTI-GLARE DETAIL



ATTACHMENT A



- EXTERNAL FINISHES**
- P01 POWDERCOATED ALUMINIUM - DARK GREY
 - P02 RENDER AND PAINT FINISH - LIGHT GREY
 - P03 RENDER AND PAINT FINISH - MEDIUM GREY
 - P04 RENDER AND PAINT FINISH - DARK GREY
 - P05 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - P06 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - P07 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
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 - P98 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - P99 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - P100 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)

- EXTERNAL FINISHES**
- B1 FACE BRICK
 - B2 CONCRETE - WHITE
 - B3 CONCRETE - WHITE - IN SITU PATTERN 1
 - B4 CONCRETE - GREY - IN SITU PATTERN 2
 - B5 CONCRETE - GREY - IN SITU PATTERN 3
 - B6 CONCRETE - GREY
 - B7 CONCRETE - GREY
 - B8 CONCRETE - GREY
 - B9 CONCRETE - GREY
 - B10 CONCRETE - GREY
 - B11 CONCRETE - GREY
 - B12 CONCRETE - GREY
 - B13 CONCRETE - GREY
 - B14 CONCRETE - GREY
 - B15 CONCRETE - GREY
 - B16 CONCRETE - GREY
 - B17 CONCRETE - GREY
 - B18 CONCRETE - GREY
 - B19 CONCRETE - GREY
 - B20 CONCRETE - GREY
 - B21 CONCRETE - GREY
 - B22 CONCRETE - GREY
 - B23 CONCRETE - GREY
 - B24 CONCRETE - GREY
 - B25 CONCRETE - GREY
 - B26 CONCRETE - GREY
 - B27 CONCRETE - GREY
 - B28 CONCRETE - GREY
 - B29 CONCRETE - GREY
 - B30 CONCRETE - GREY
 - B31 CONCRETE - GREY
 - B32 CONCRETE - GREY
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 - B96 CONCRETE - GREY
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 - B98 CONCRETE - GREY
 - B99 CONCRETE - GREY
 - B100 CONCRETE - GREY



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Project: Overland Gardens
 Client: Topknox
 Job No: 21/3070
 Date: 28/11/24
 Draw No: DA-1050
 Facade Elevations Building B

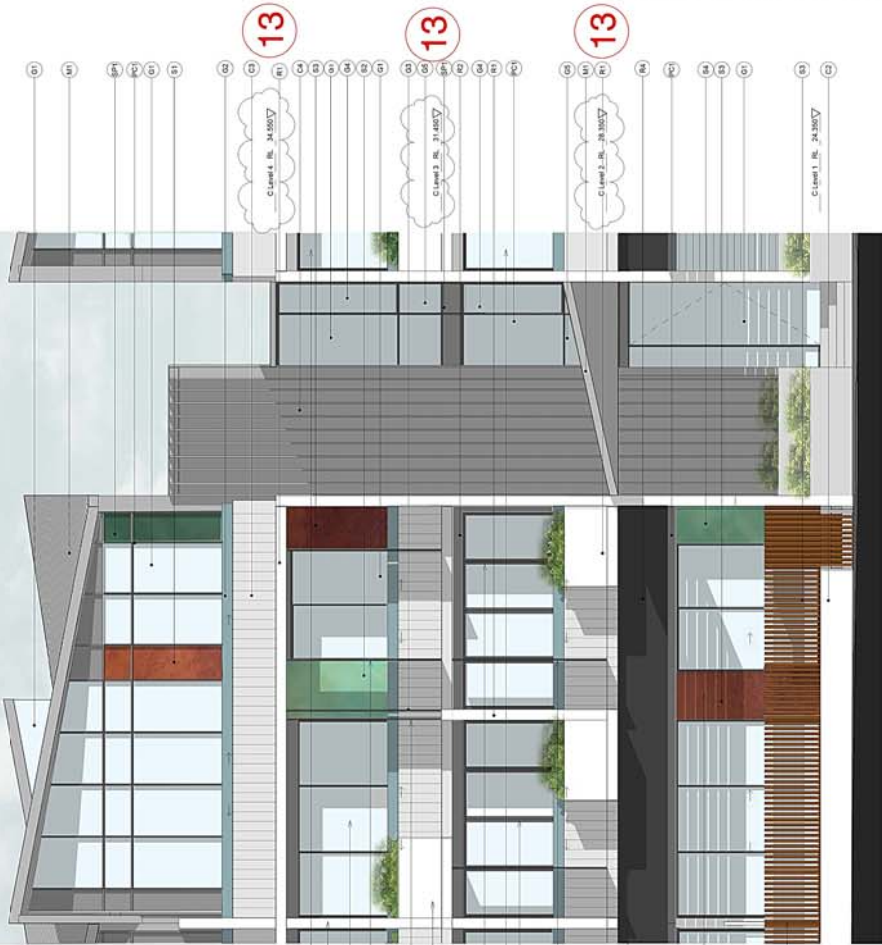
ATTACHMENT A



Building C - West Elevation 1:50

4 10

AMENDMENT NOTES 26/06/2015 REV C
SEE LEGEND ON PLANS DESCRIBING CHANGES



Building C - East Elevation 1:50

13

EXTERNAL FINISHES

- B1 FACE BRICK
- B2 CONCRETE - WHITENED
- C3 CONCRETE - WHITENED - IN SITU PATTERN 1
- C4 CONCRETE - GREY - IN SITU PATTERN 2
- C5 CONCRETE - GREY - IN SITU PATTERN 3
- C6 CONCRETE - GREY - IN SITU PATTERN 4
- C7 CLEAR WINDOW GLAZING
- C8 CLEAR WINDOW GLAZING - MEDIUM GREY
- C9 FROSTED GLAZED PINS
- C10 CLEAR GLAZED COVERED GLASS
- C11 STANDING BEAM - WALL AND METAL ROOF CLADDING - GREY
- M1 STONE PAVERS
- P1

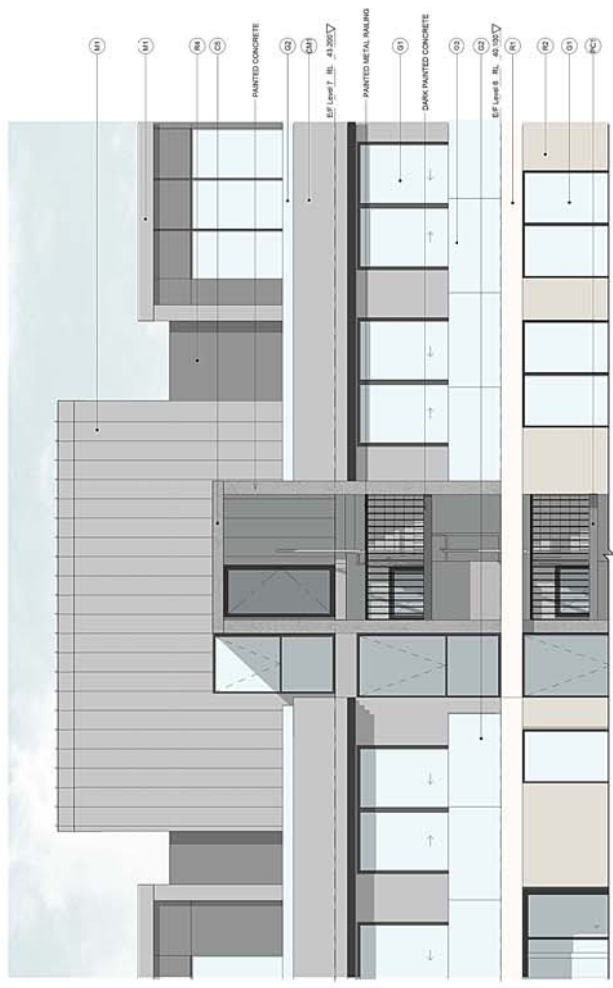
EXTERNAL FINISHES

- PCT POWDERCOATED ALUMINIUM - DARK GREY
- R1 RENDER AND PAINT FINISH - LIGHT GREY
- R2 RENDER AND PAINT FINISH - MEDIUM GREY
- R3 RENDER AND PAINT FINISH - DARK GREY
- R4 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
- S1 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
- S2 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
- S3 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
- S4 GREEN COPPER FINISH
- SP1 SPANDREL PANEL IN COLORBACK GLASS



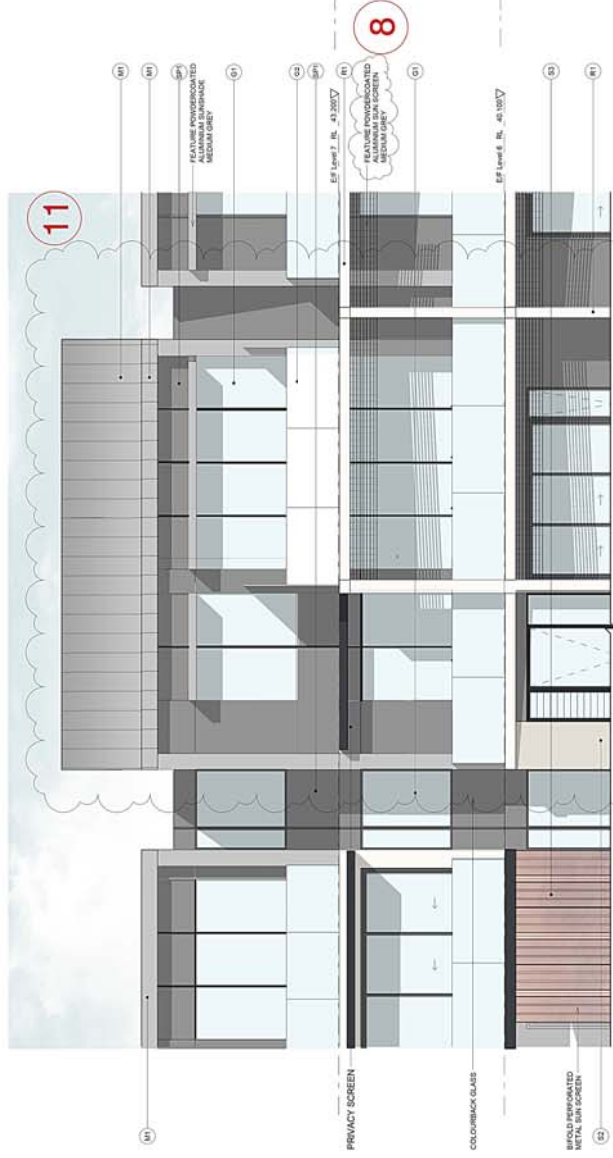
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ATTACHMENT A



Building E - South Elevation 1:50

- EXTERNAL FINISHES**
- PC1 POWDERCOATED ALUMINIUM - MEDIUM GREY
 - PC2 CONCRETE - WHITENED
 - R2 RENDER AND PAINT FINISH - LIGHT GREY
 - R4 RENDER AND PAINT FINISH - MEDIUM GREY
 - S1 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - S2 RED COPPER POWDERCOAT FINISH (ON ALUMINIUM)
 - S3 RED RUST COLOUR (ON ALUMINIUM)
 - S4 GREEN COPPER FINISH
 - SP1 SPANDREL PANEL IN COLORBACK GLASS



Building E - North Elevation 1:50

- EXTERNAL FINISHES**
- B1 FACE BRICK
 - C1 CONCRETE - WHITENED
 - C2 CONCRETE - GREY - IN SITU PATTERN 1
 - C3 CONCRETE - GREY - IN SITU PATTERN 2
 - C4 CONCRETE - GREY - IN SITU PATTERN 3
 - G1 CLEAR WINDOW GLAZING
 - G2 CLEAR WINDOW GLAZING - MEDIUM GREY
 - G3 CLEAR BALUSTRADE GLAZING
 - G4 CLEAR GLAZED LOUVER GLASS
 - G5 CLEAR GLAZED LOUVER GLASS
 - M1 STANDING SEAM - WALL AND METAL ROOF CLADDING - GREY
 - P1 STONE PAVERS



AMENDMENT NOTES 26062015 REV B
 SEE LEGEND ON PLANS DESCRIBING CHANGES

NOTES

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